

WARRANTY DEED

THIS INDENTURE, made and entered into this **22nd** day of **August, 2007**, by and between **McKinley Feltman and wife, Gail A. Feltman**, as tenants by the entirety with full rights of survivorship and not as tenants in common, parties of the first part, and **Angelica R. Young and husband, John Stewart Young**, as tenants by the entirety with full rights of survivorship and not as tenants in common, parties of the second part,

WITNESSETH: That for and in consideration of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable considerations, the receipt of all of which is hereby acknowledged, the said parties of the first part have bargained and sold and do hereby bargain, sell, convey and confirm unto the said parties of the second part the following described real estate, situated and being in the City of **Olive Branch**, County of **DeSoto**, State of **Mississippi**.

Lot 81, Section C, Whitten Place Subdivision, Section 27, Township 1 South, Range 7 West, as shown on plat of record in Plat Book 28, Pages 25-27, in the Chancery Clerk of DeSoto County County, Mississippi, to which plat reference is hereby made for a more particular description of said property.

Being part of the same property conveyed to Grantor(s) herein as shown in Warranty Deed of record at Book 260, Page 287 in said Chancery Clerk Office.

Parcel #: 1078-2705-0-00081.00

TO HAVE AND TO HOLD the aforesaid real estate together with all appurtenances and hereditaments thereunto belonging or in any wise appertaining unto the said party of the second part, his/her heirs, successors and assigns in fee simple forever.

The said party of the first part does hereby covenant with the said party of the second part that he/she is lawfully seized in fee of the aforescribed real estate; that he/she has good right to sell and convey the same; that the same is unencumbered, EXCEPT for:

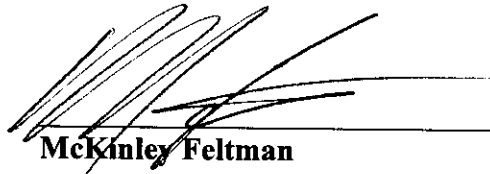
Subdivision restrictions, building lines and easements of record, and any subsequent years taxes not yet due and payable,

and that the title and quiet possession thereto he/she will warrant and forever defend against the lawful claims of all persons.


The word "party" as used herein shall mean "parties" if more than one person or entity be referred to, and pronouns shall be construed according to their proper gender and number according to the context hereof.

So Just JH
20

WITNESS the signature of the party of the first part the day and year first above written.



McKinley Feltman

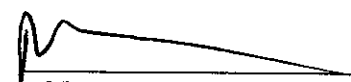


Gail A. Feltman

STATE OF TENNESSEE, COUNTY OF SHELBY

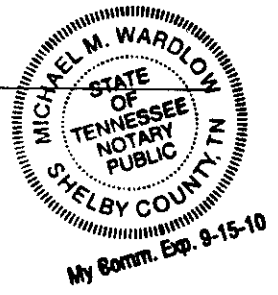
Before me, a Notary Public in and for said State and County, duly commissioned and qualified, personally appeared **McKinley Feltman and Gail A. Feltman** to me known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same for the purposes therein contained.

WITNESS my hand and Notarial Seal at office this **22nd** day of **August, 2007**.



Notary Public

My commission expires: _____



Property address: **3445 Plum Pointe Drive**
Olive Branch, Mississippi 38654

Grantor's address **5894 Savannah Parkway**
Southaven, Mississippi 38672
Phone No.: **662-349-9366**
Phone No.: **N/A**

Grantee's address **3445 Plum Pointe Drive**
Olive Branch, Mississippi 38654
Phone No.: **901-818-4877**
Phone No.: **N/A**

Mail tax bills to, (Person or Agency responsible for payment of taxes)
Angelica R. Young and John Stewart Young
3445 Plum Pointe Drive
Olive Branch, Mississippi 38654

This instrument prepared by:
Southern Trust Title Company

6465 Quail Hollow, Suite #401
Memphis, TN 38120
(901) 751-7955

File No.: **1691461**

Return to: **Southern Trust Title Company**
6465 Quail Hollow, Suite #401
Memphis, TN 38120

(FOR RECORDING DATA ONLY)